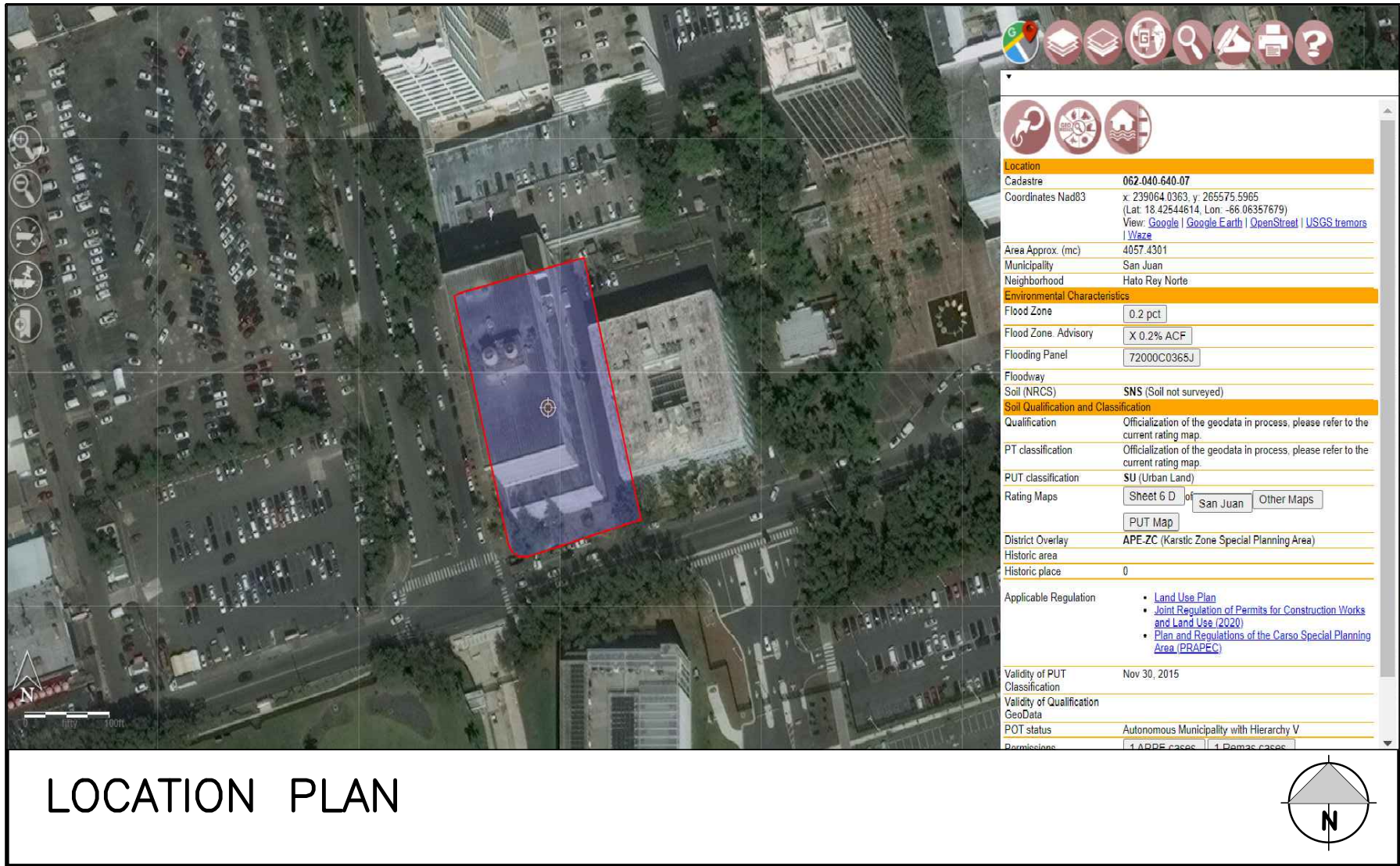


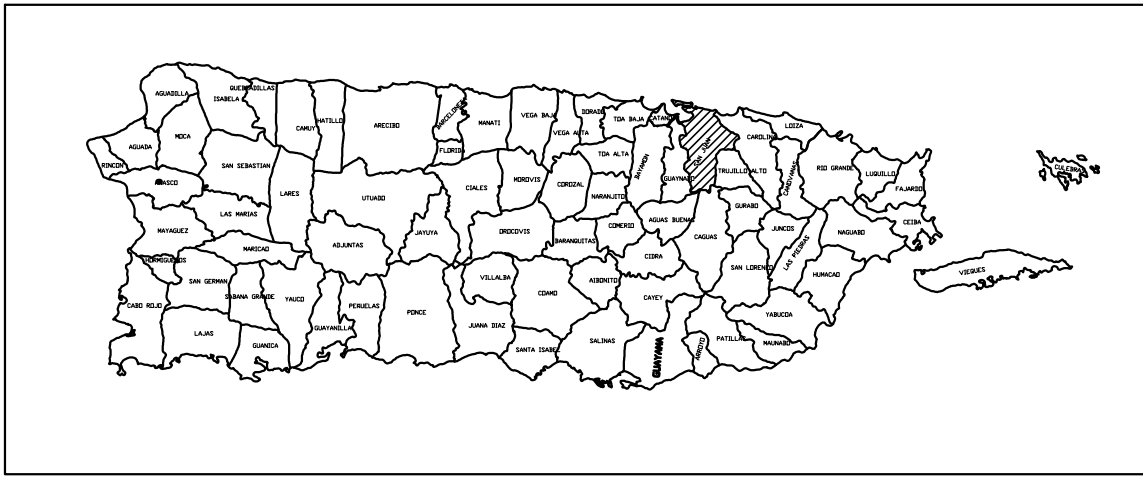
IMPROVEMENTS ACAA BUILDING 10TH FLOOR

255-273 AVENIDA DE LA CONSTITUCION

SAN JUAN, PUERTO RICO



LOCATION PLAN



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TITLE AND INDEX SHEET

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SCALE		DRAWING No.	
PROJECT No.		T-1.0	
DATE		SHEET No.	
JAN 2021			

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
2. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLECTED TO THE OWNER'S PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK.
3. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR REVIEW PRIOR TO COMMENCEMENT OF THE WORK.
4. ALL MATERIALS AND CONSTRUCTION METHODS USED MUST COMPLY WITH ALL GOVERNING REGULATIONS AS SET FORTH BY THE PUERTO RICO PLANNING BOARD, AND ALL OTHER CONCERNED REGULATORY AGENCIES.
5. NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DOORS, FRAMES, AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL) SHALL BE PAINTED UNLESS OTHERWISE INDICATED.
6. THE CONSTRUCTION SITE SHALL BE MAINTAINED REASONABLY NEAT AND FREE FROM EXCESSIVE ACCUMULATION OF TRASH AND DEBRIS. ALL TRASH, DEBRIS, RUBBISH, ETC SHALL BE PROMPTLY REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
7. ALL STEEL CONSTRUCTION ELEMENTS ARE TO BE PRIMED WITH GALVANIZED METAL PRIMER AND PAINTED WITH AT LEAST TWO COATS OF ACRYLIC URETHANE ENAMEL. COLORS WILL BE DETERMINED BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
8. ALL INTERIOR WALLS TO RECEIVE VINYL ACRYLIC LATEX PAINT COLORS WILL BE DETERMINED BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
9. ALL EXTERIOR CONCRETE AND MASONRY TO RECEIVE ACRYLIC LATEX PAINT BY MANUFACTURER. COLORS WILL BE DETERMINED BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
10. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, AND OBTAIN ALL REQUIRED PERMITS.
11. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED IF THEY WERE INDICATED IN THE DRAWINGS.
12. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
14. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING ELECTRICAL, ETC.
15. PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS, AND REQUIRED SIGN OFFS.
16. ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRE DESIGNS OFFS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

Abbreviations

ABC above counter
ABV above
A/C air conditioning
ACT acoustical tile
ACV air conditioning and ventilation
ADJ adjacent
ADJT adjustable
AFF above finished floor
AGG aggregate

BD board
BLDG building
BLK block
BM bench mark
BO by others
BOB bottom of beam

CAB cabinet
CPT carpet tile
CB catch basin
CEM cement
CER ceramic
CHT ceiling height
CIR circle
CL center line
CLG ceiling
CO clean out
COL column
CONC concrete
CONT continuous
CT ceramic tile
CW cold water

DBL double
DEM demolish/demolition
DET detail
DF drinking fountain
DIA diameter
DIM dimension
DN down
DR door
DWG drawing

EC electrical closet
E.J. expansion joint
ELEC electric (al)
EMER emergency
ENC enclosure
EQ equal
EST estimate
ETC etceteras
EXP exposed
EXT exterior

FAI fresh air intake
FBO furnished by others
FD floor drain
FE fire extinguisher
FFE finished floor elevation
FFL finished floor line
FH full height
FIN finish/finished
FL floor
FLG flashing

GA gauge
GALV galvanized
GC general contractor
GL glass
GRD ground
GYP gypsum

HB hose bibb
HC hollow core
HDC handicapped
HDW hardware
HM hollow metal
HOR horizontal
HT height
HW hot water

ID inside
INT interior
IP interior paint
INV invert
JAN janitor
JC janitors closet

KIT kitchen
KO knockout

L length
LAM laminated
LAV lavatory
LH left hand
LVR louver

M meter (s)
MAINT maintenance
MAS masonry
MAX maximum
MECH mechanical
MFG manufacturer
MH manhole
MIN minimum
MISC miscellaneous
MO masonry opening
MTD mounted
MTL material

N north
NAT natural
NO nominal
NTS not to scale
N.I.C. not included in contract

OA overall
OC on center
OD outside diameter
OH overhead
OPP opposite

PL plate
PL property line
PLAS plaster
P T pressure treated

QT quarry tile
QTY quantity

R riser
RAD radius
REF reference
REL relocated
REV revision (s)
RH right of way
RM room
ROW right of way
R.L. rain leader

S south
SHT sheet
SIM similar
SPCP smooth portland cement plaster
SST stainless steel
STA station
STD standard
STL steel
STOR storage
SYM symmetry

T toilet
T tread
TEL telephone
THK thick/thickness
T.O. trimmed opening
TOW top of wall
TYP typical

UNF unfinished
UR urinal
U.O.N. unless otherwise noted

VERT vertical
VJ v-joint (ed)
V.I.F. verify in field
VT vinyl tile
W west
WB wall base
WC water closet
WD wood
WH wall hung
WIN window
WO without

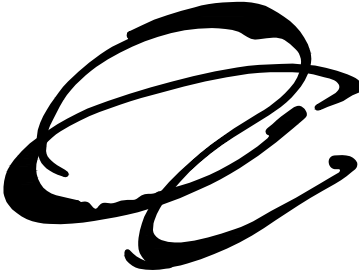
YD yard drain

ARCHITECTURAL SYMBOLS:

- NEW STRUCTURAL WALLS
- NEW CONCRETE BLOCK WALL THICKNESS AS PER CONSTRUCTION PLAN.
- NEW GYPSUM BOARD WALL THICKNESS AS PER CONSTRUCTION PLAN.
- AXIS LINES
- MAIN FLOOR ELEVATION
- CHANGE IN FLOOR ELEVATION
- CHANGE IN FLOOR FINISH
- SLOPE
- NOTES/REFERENCE

REFERENCE SYMBOLS:

- B.S. LETTER OR NUMERAL DESIGNATION BUILDING SECTION SHEET WHERE FOUND
- W.S. NUMERAL DESIGNATION WALL SECTION SHEET WHERE FOUND
- ELEV. NUMERAL DESIGNATION EXTERIOR ELEVATIONS SHEET WHERE FOUND
- DETAIL NUMERAL DESIGNATION DETAIL SHEET WHERE FOUND
- INTERIOR ELEVATION LETTER DESIGNATION SHEET WHERE FOUND
- ROOM NUMBER/FINISH CODE FINISH CODE ROOM NUMBER
- DOORS NUMBER DESIGNATION DOOR TYPE
- WINDOWS LETTER DESIGNATION



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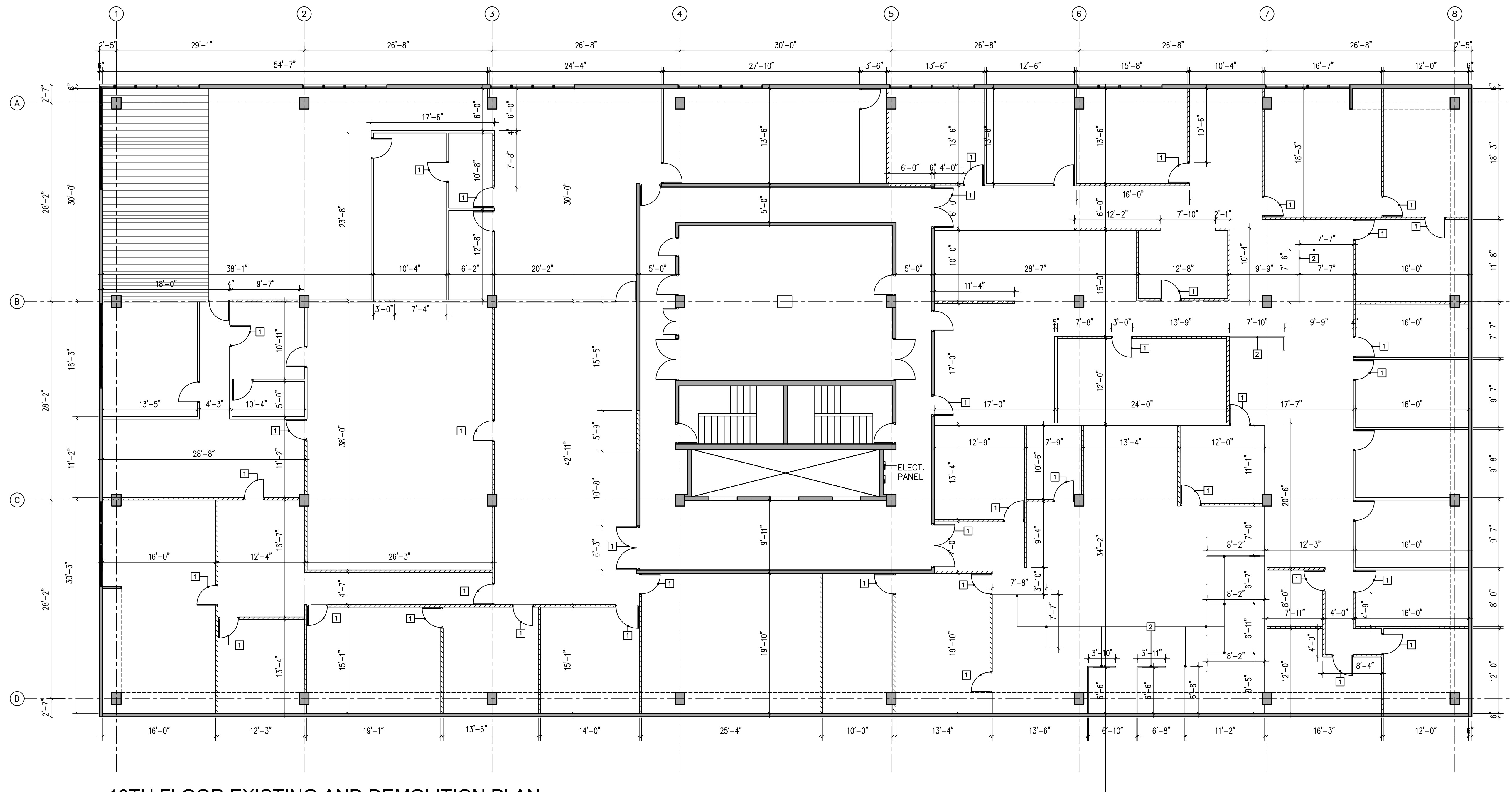
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GENERAL NOTES

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SCALE	DRAWING No.
PROJECT No.	G-1.0
DATE	SHEET No.








10TH FLOOR EXISTING AND DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

1. THE CONTRACTOR, BEFORE THE START OF THE WORK, VERIFY ALL DIMENSIONS AND CONDITIONS EXISTING AT THE PROJECT SITE AND NOTIFY TO THE ARCHITECT OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AND THE DOCUMENTS OF THE CONTRACT THAT COULD AFFECT THE PROGRAM AND/OR THE ADEQUATE PERFORMANCE OF DEMOLITION WORK AND CONSTRUCTION.
2. THE CONTRACTOR SHALL DISPOSE OF ALL EXISTING DEBRIS AND WASTE MATERIALS FROM OFF-SITE DEMOLITION WORK AS INSTRUCTED BY THE OWNER.
3. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED TO THE OWNER'S PROPERTY OR OTHER AREAS REMAINING DURING THE DEMOLITION AND CONSTRUCTION PHASES. DAMAGED ITEMS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. DEMOLITION AND REMOVAL SHALL BE CARRIED OUT IN AN ORGANISED MANNER AND THE RELEASE OF DUST AND DEBRIS INTO THE AIR SHALL BE AVOIDED.
5. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE WITH THE OWNER ALL WORK TO BE PERFORMED IN THE AREAS IN CURRENT USE, SO AS NOT TO INTERFERE WITH NORMAL DAILY OPERATIONS.

DEMOLITION LEGEND

-  EXISTING AREA TO BE DEMOLISHED
 GYPSUM WALL TO BE DEMOLISHED
 EXISTING GYPSUM WALL TO REMAIN
 DOOR TO BE REMOVED AND DISPOSED
 LOW PARTITION WALL TO BE REMOVED AND DISPOSED

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10TH FLOOR EXISTING &
DEMOLITION PLAN

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SCALE 1/8"=1'-0"	DRAWING No. DP-1.0
PROJECT No.	
DATE	SHEET No.

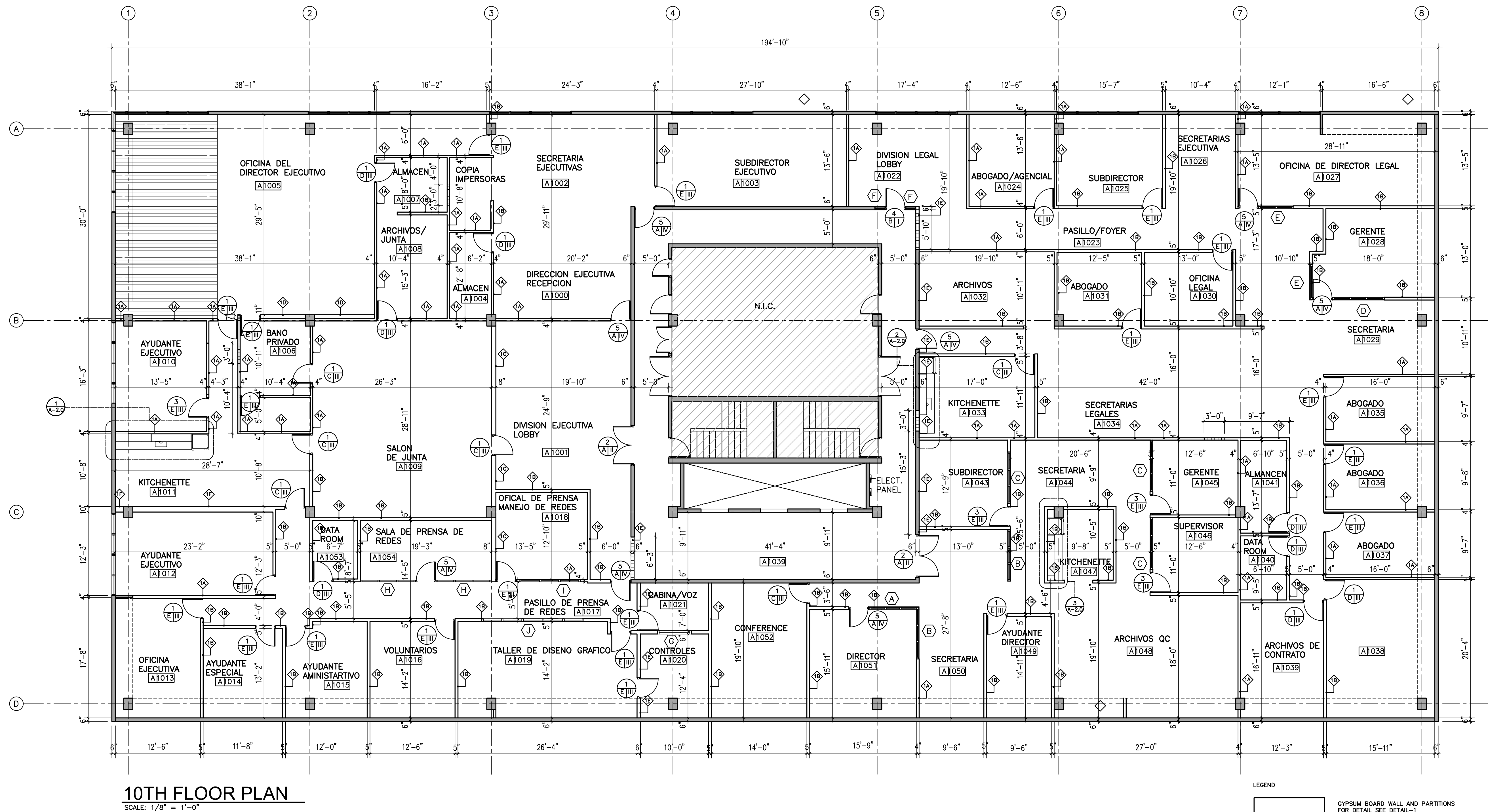
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SCALE 1/8"=1'-0"	DRAWING No. A-1.0
PROJECT No.	
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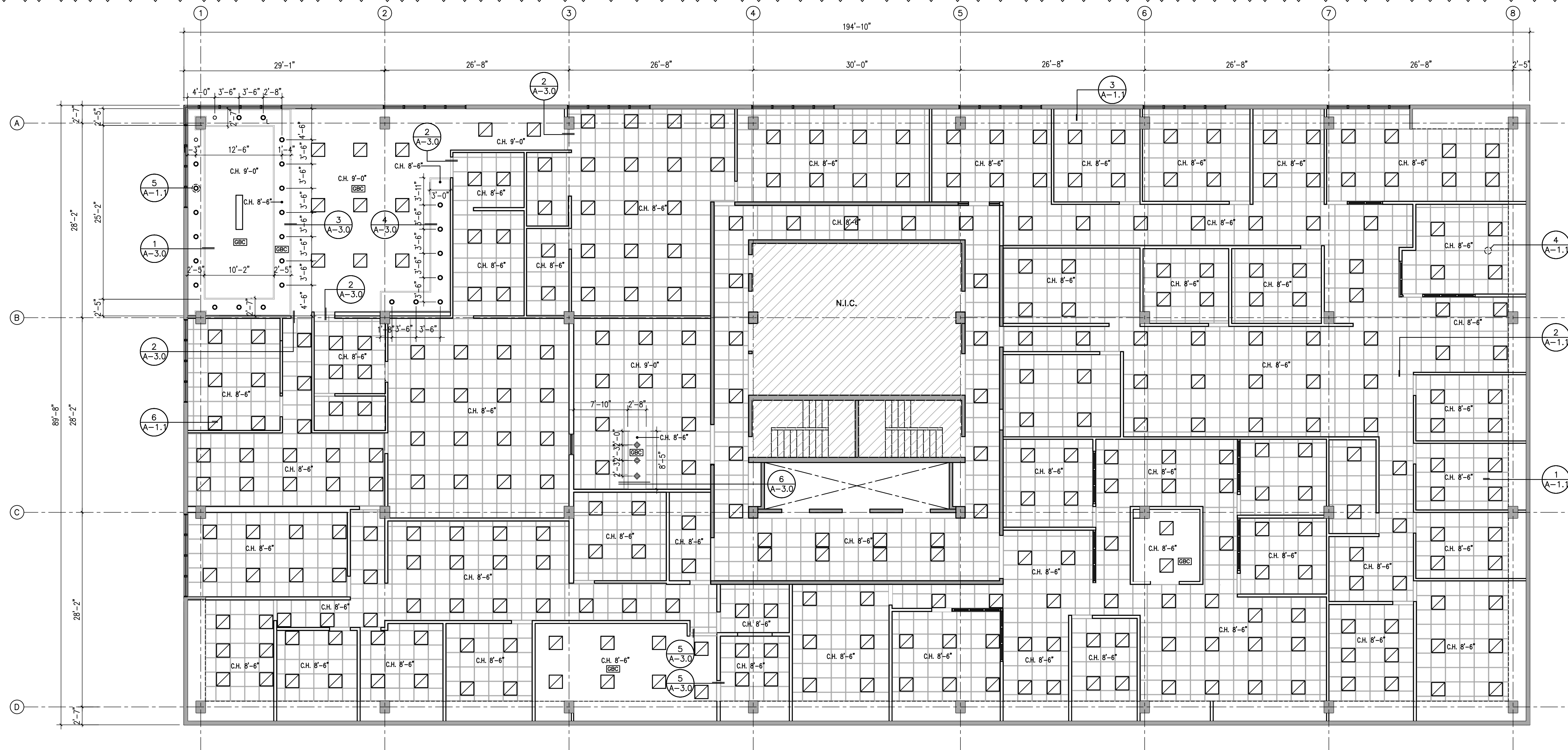
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10TH FLOOR REFLECTED
CEILING PLAN

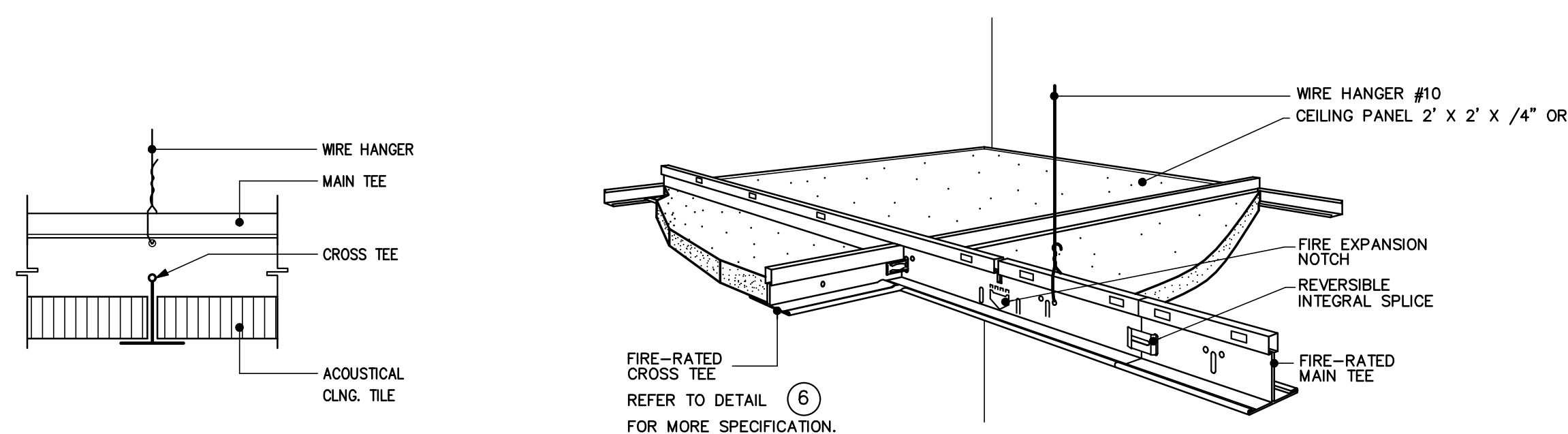
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	A-1.1
PROJECT No.	
DATE	SHEET No.

YO, HIRNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LIC. 7647 CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS LAS ESPECIFICACIONES COMPLEMENTARIAS, TAMBIEN CERTIFICO QUE ENTENDIENDO QUE DICHOS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DE REGlamentACION CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGlamentADORAS O CORPORACIONES PUBLICAS JURISDICCION, RECONOZCO QUE CUALQUIER DELACRACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, SINS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACE RESPONSABLE DE CUALQUIER ACCION JURIDICA Y DISCIPLINARIA POR LA OBLIGACION AUTOMATICA DE VERIFICAR Y CUMPLIR CON LOS REQUISITOS UNIFORMES A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OSA.



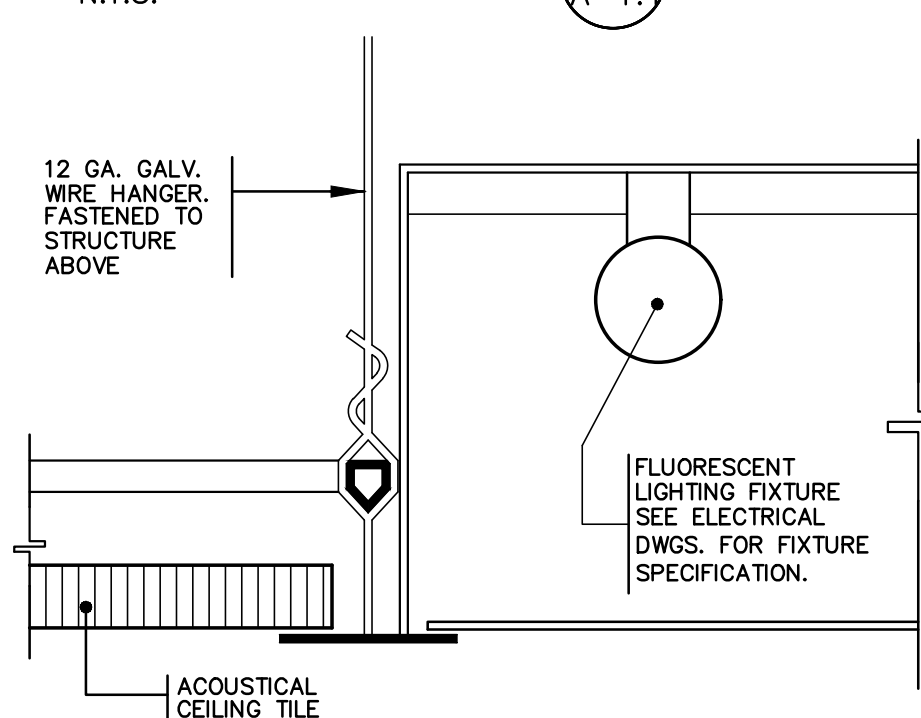
10TH FLOOR RELECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



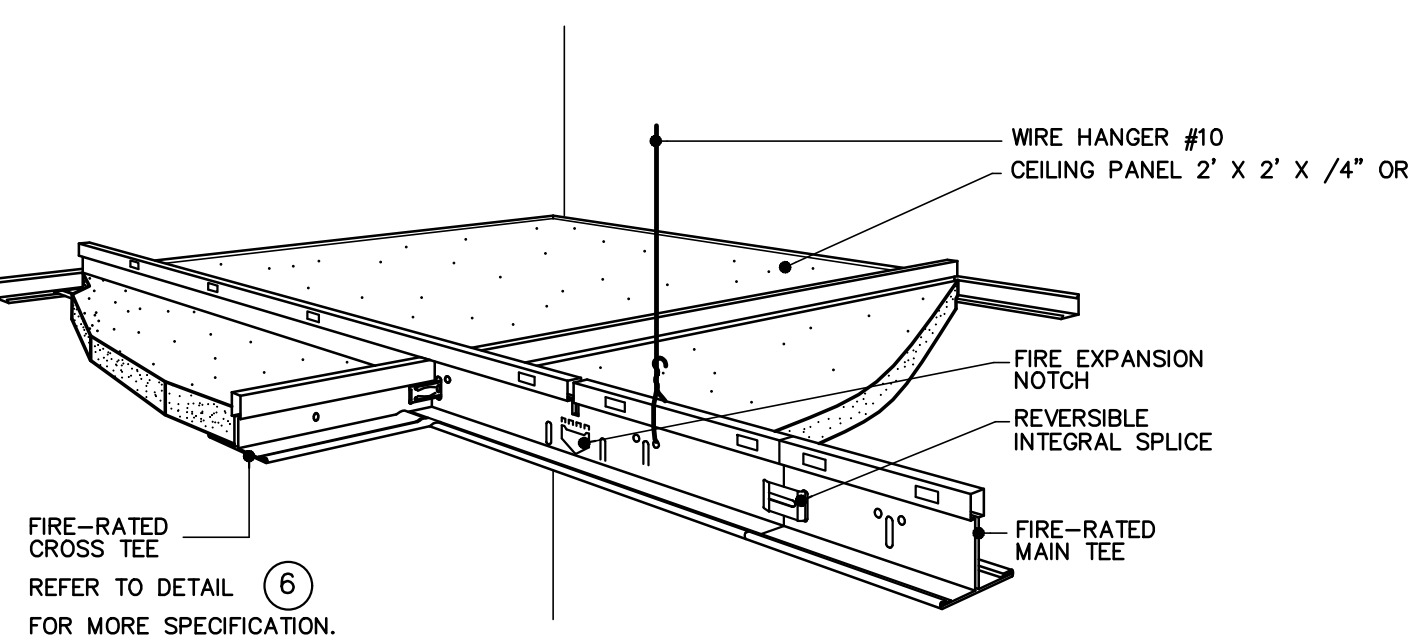
DETAIL MKD

N.T.S.



DETAIL MKD

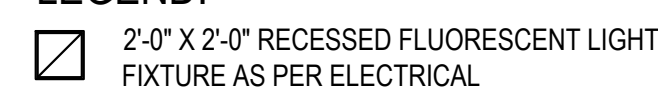
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ACOUSTICAL HUNG CEILING DET.

N.T.S.

LEGEND:



C.H. X'-X" CEILING HEIGHT ABOVE FINISHED FLOOR



- RECESSED DOWNLIGHT AS PER ELECTRICAL



☐ AS FINISH SCHEDULE



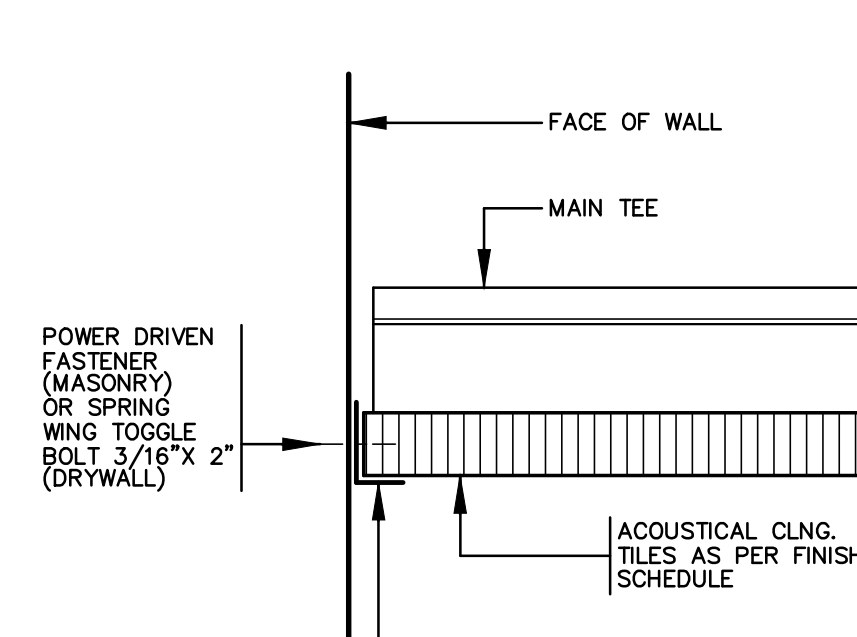
PENDANT LIGHT N.I.C

NOTES:

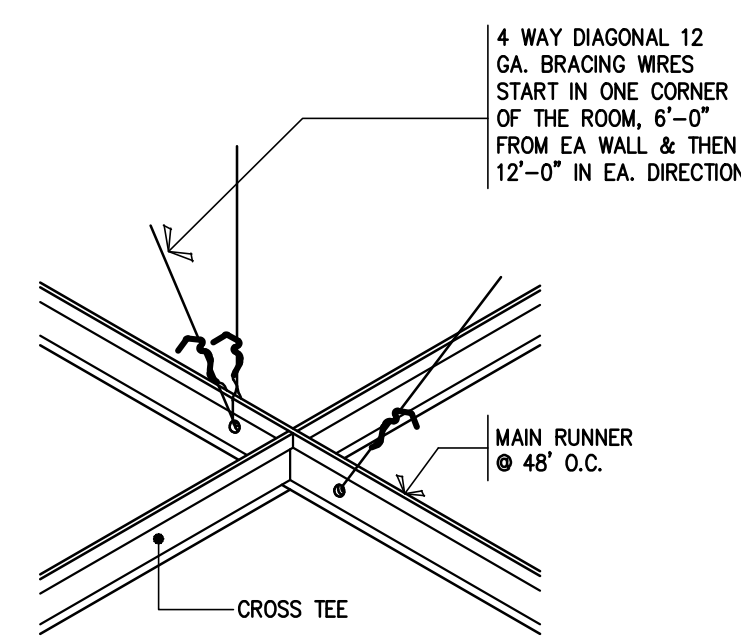
1. GC SHALL COORDINATE FINAL LOCATIONS OF ALL LIGHT FIXTURES W/ ARCHITECT PRIOR TO INSTALLATION.

2. WHERE CEILING IS OPEN TO STRUCTURE, APPLY "ICC" K-13 SPRAY-ON ACOUSTICAL CEILING SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS. COLOR: GRAY.

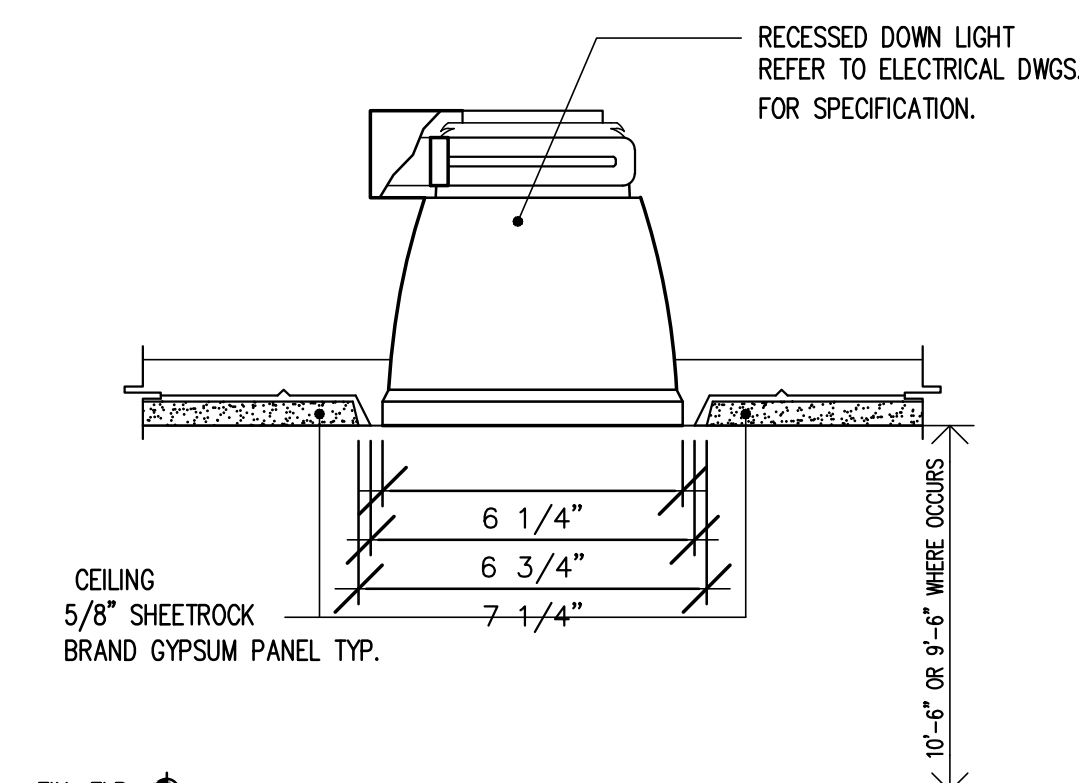
3. REFER TO ELECTRICAL DWGS. FOR LIGHT
FIXTURE SPECIFICATIONS.



DETAIL MKD

$$\frac{DE}{NTS}$$
DETAIL MKD

N.T.S.



DETAIL MKD

$$\frac{DL}{NTS}$$

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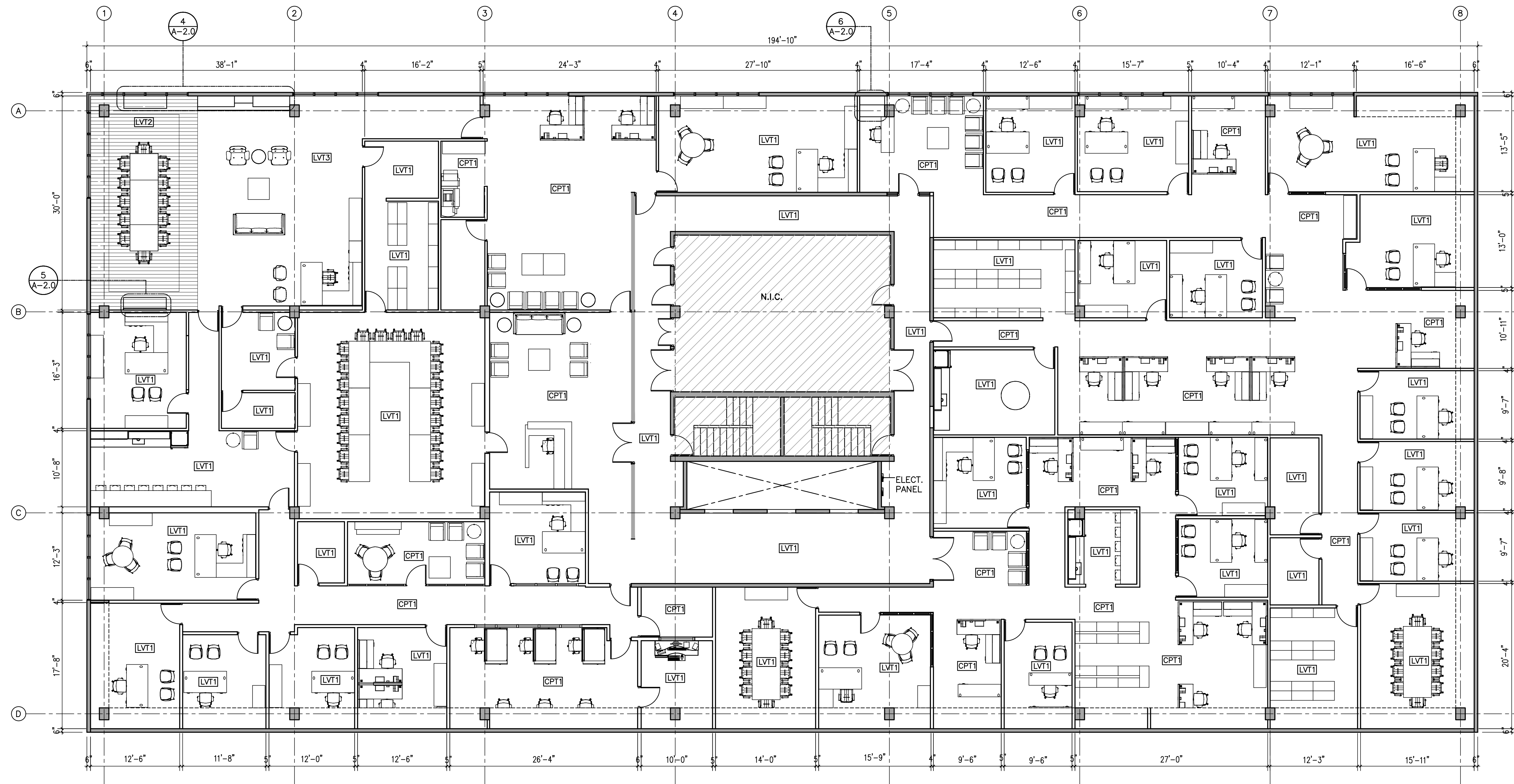
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10TH FLOOR FURNITURE
LAYOUT PLAN

SCALE AS NOTED	DRAWING No.
	A-1.2
PROJECT No.	
DATE	SHEET No.



10TH FLOOR FURNITURE LAYOUT PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. GC SHALL COORDINATE WITH CLIENT FOR NEW FURNITURE BUYOUT AND INSTALLATION.

FINISH NOTES:

TRANSITION STRIPS WERE OCCURS.

800 IMPERIAL REDUCER 1/4" BY MANNINGTON COMMERCIAL
1-1/4" TRANSITION REDUCER. FOR GLUE DOWN CARPET; 1/4" UNDERCUT.
CAN BE TRIMMED TO BUTT TO RESILIENT TILE.

930 SNAP-DRAGON T BY MANNINGTON COMMERCIAL
SNAP-IN T MOLDING. JOINS 1/4" OR 5/16 MATERIAL ON EACH SIDE. USE
METAL TRACK ONLY."

PINLESS METAL TRACK BY MANNINGTON COMMERCIAL
DESIGNED TO INSTALL T MOLDINGS 360, 365, 930, 935 AND 940.
ALUMINUM.

800 IMPERIAL REDUCER

CARPET TILE

CERAMIC TILE

DETAIL MKD. CARPET TO CERAMIC TILE

SCALE: N.T.S.

930 SNAP-DRAGON T
TRANSITION STRIP

VINYL TILE

CARPET TILE

CERAMIC TILE

PINLESS METAL TRACK

DETAIL MKD. VINYL TO CARPET TILE

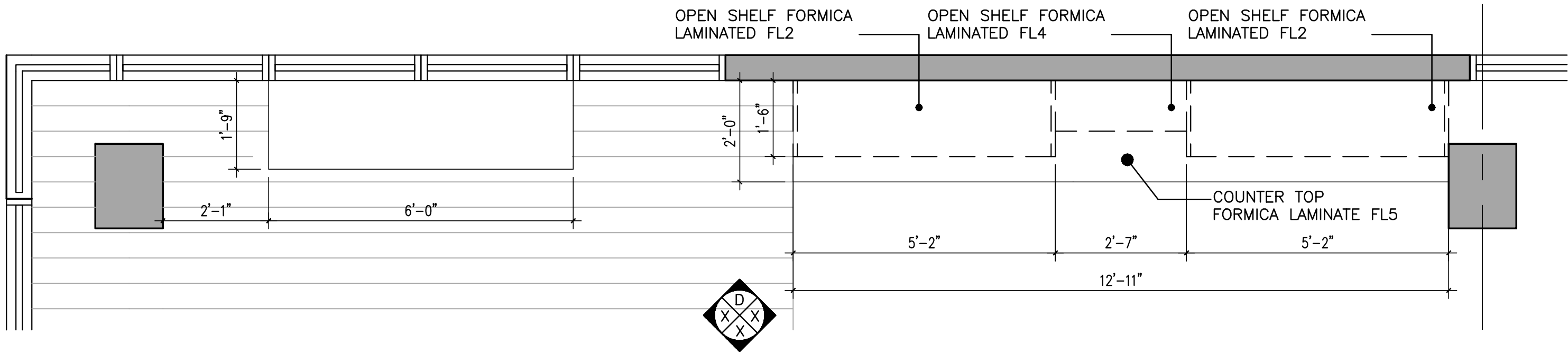
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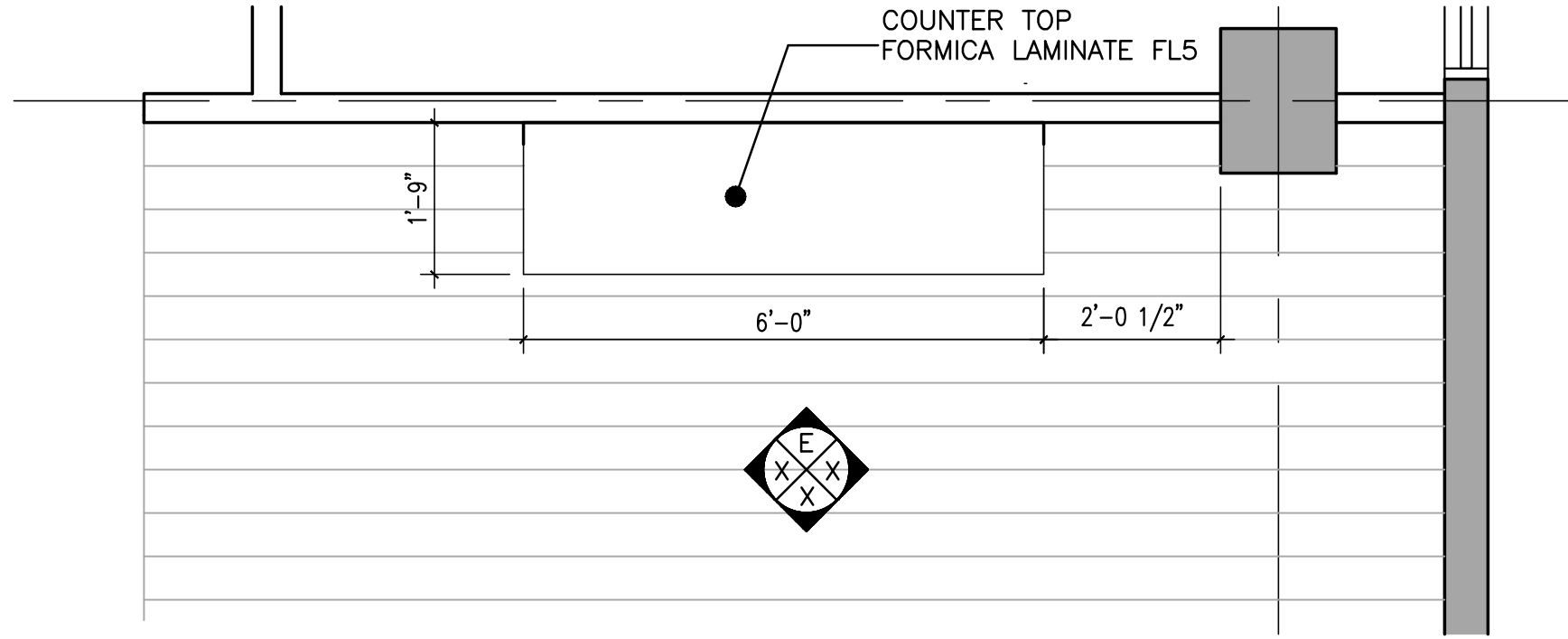


EQUIPMENT AND ACCESORIES SCHEDULE		
MARK	DESCRIPTION	MODEL
1	SINK	TO BE FURNISHED BY OWNER
2	SINK FAUCET	TO BE FURNISHED BY OWNER
3	REFRIGERATOR	TO BE FURNISHED BY OWNER
4	WINE COOLER	TO BE FURNISHED BY OWNER
5	TV	TO BE FURNISHED BY OWNER

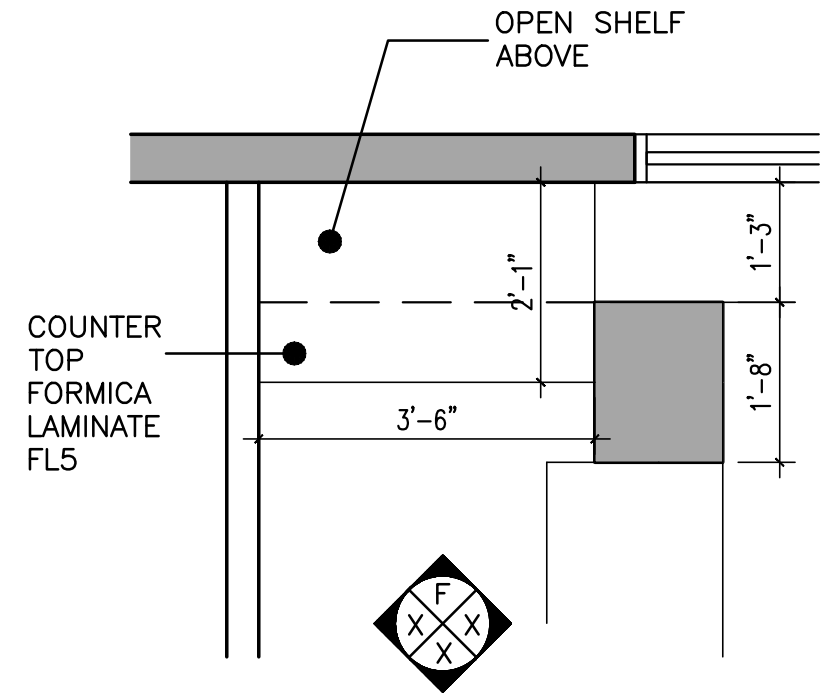
712



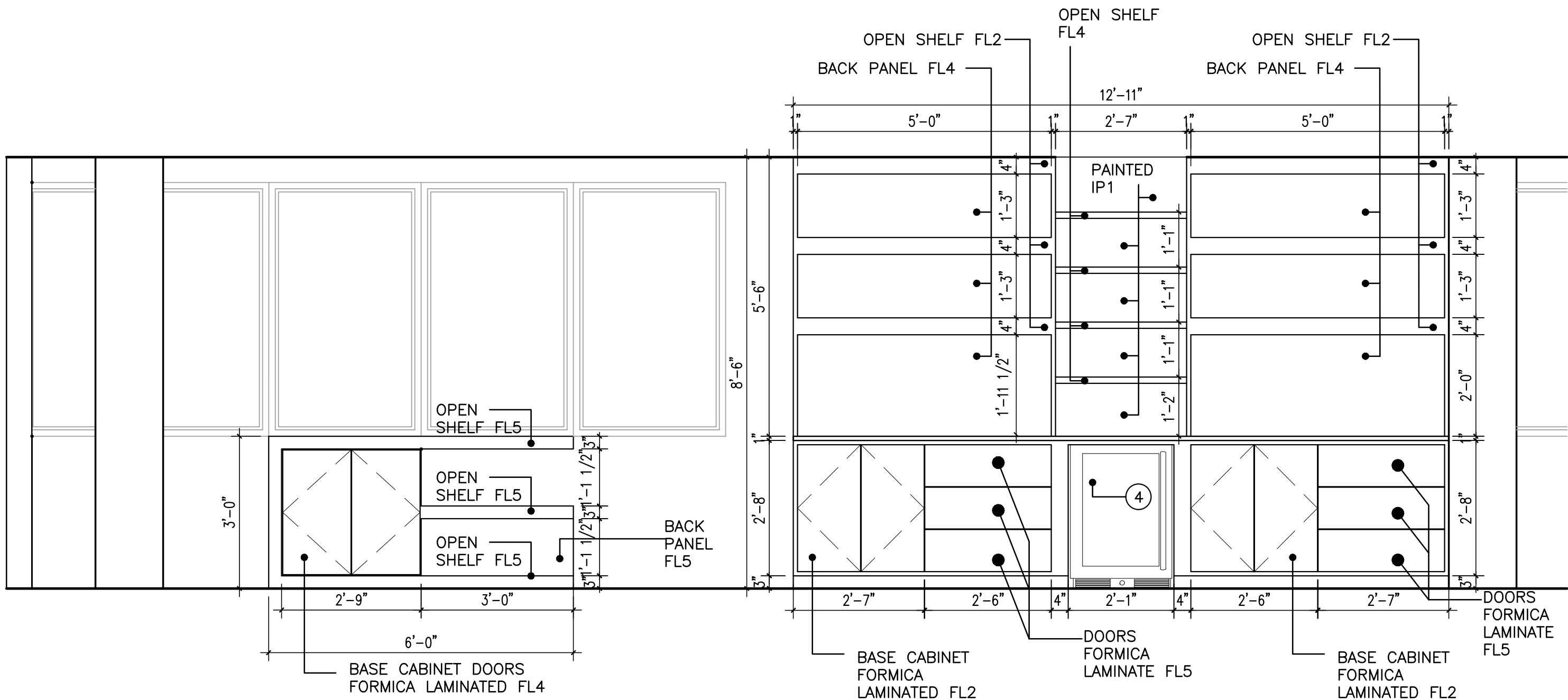
4 CABINETS @ ROOM 1005
SCALE: 1/2" = 1'-0"



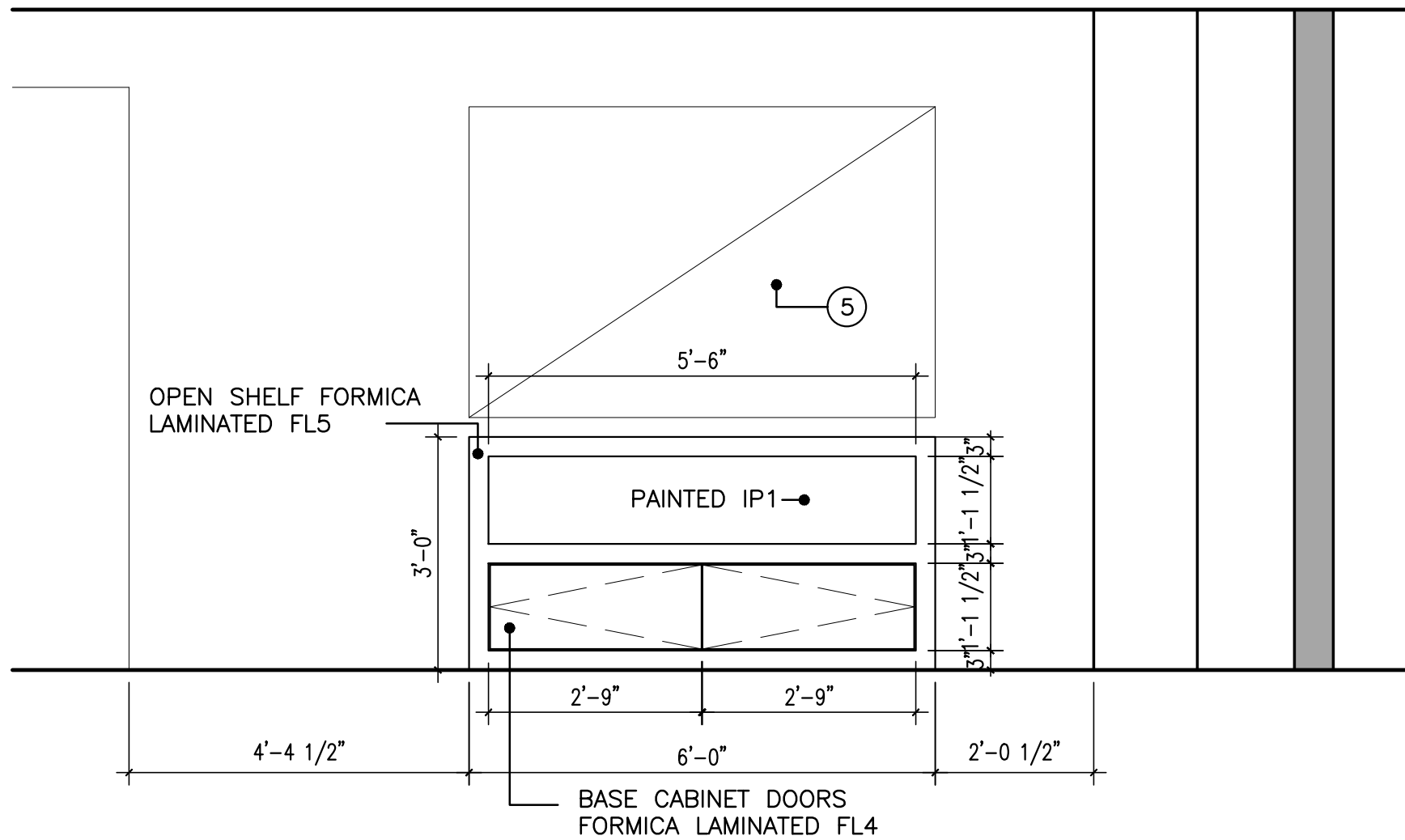
5 CABINET @ ROOM 1005
SCALE: 1/2" = 1'-0"



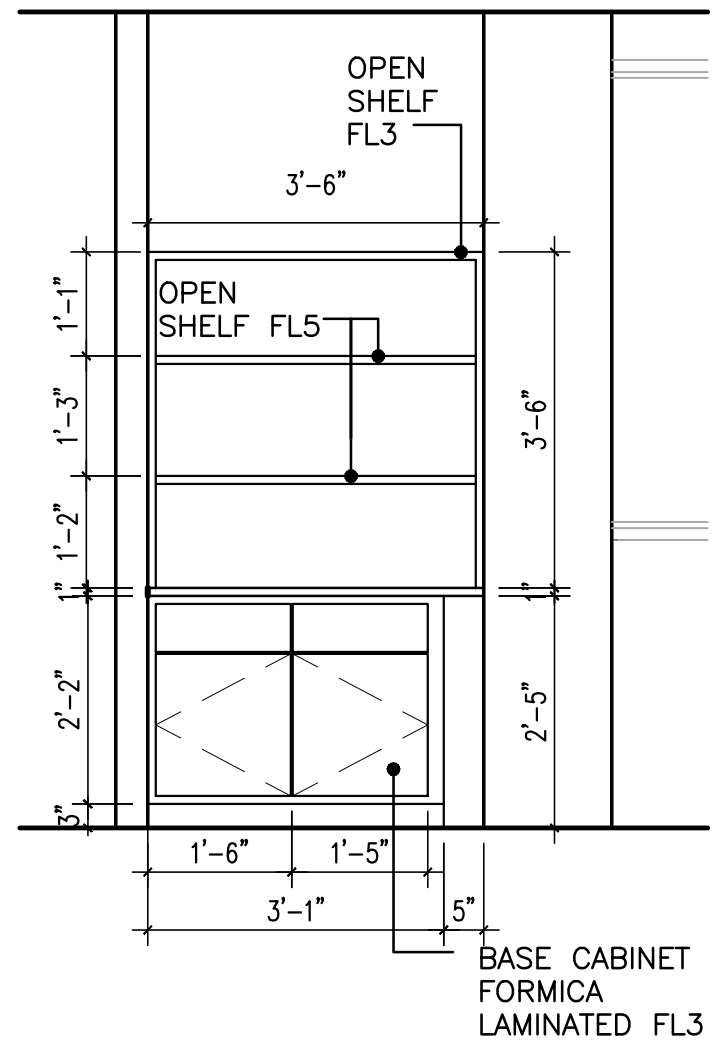
6 CABINET @ ROOM 1022
SCALE: 1/2" = 1'-0"



D ELEVATION
SCALE: 1/2" = 1'-0"



E ELEVATION
SCALE: 1/2" = 1'-0"



F ELEVATION
SCALE: 1/2" = 1'-0"

- NOTES:
1. CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND SAMPLES FOR APPROVAL
 2. ALL CABINETRY SHALL BE CONSTRUCTED WITH 3/4" PVC PANEL AND FINISH (ALL VISIBLE SURFACES) WITH PLASTIC LAMINATE, INCLUDING INTERIOR SURFACES OF CABINET AND SHELVES INCLUDING DRAWER INTERIOR UNLESS SOMETHING ELSE IS INDICATED. COLOR AS SPECIFIED.

FINISHES:

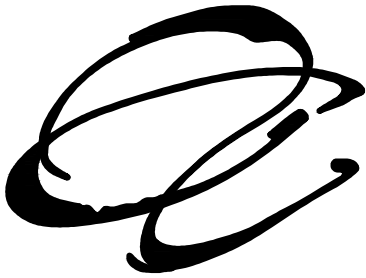
- FL1: FORMICA 8795 COLOR MATRIX BLUE SWATCH
FL2: FORMICA 927 FOLKSTONE SWATCH
FL3: FORMICA 961 FOG SWATCH
FL4: FORMICA 8862 LIVELY WALNUT
FL5: FORMICA 912 STORM SWATCH

EQUIPMENT AND ACCESORIES SCHEDULE		
MARK	DESCRIPTION	MODEL
1	SINK	TO BE FURNISHED BY OWNER
2	SINK FAUCET	TO BE FURNISHED BY OWNER
3	REFRIGERATOR	TO BE FURNISHED BY OWNER
4	WINE COOLER	TO BE FURNISHED BY OWNER
5	TV	TO BE FURNISHED BY OWNER

YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LICENCIA
TAP, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y
LAS ESPECIFICACIONES COMPLEMENTARIAS, TAMBIEN CERTIFICO QUE
ENTENDIENDO QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLAN CON LAS
DISPOSICIONES VIGENTES DEL REGLAMENTO CONSTRUCCION Y LAS
DISPOSICIONES EN VIGOR DE LOS REGLAMENTOS Y CODICES DE LAS
AGENCIAS, APTAS PARA REGULARIZADORAS O CORPORACIONES PUBLICAS CON
AUTORIZACION, RECONOCIENDO QUE CON SU FIRMA DE AUTORIA PASE A
FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN
CONFORMIDAD O POR NEGLIGENCIA O POR MALA FE, ME AGRADEZCO
EMPLAZADO O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN
RESPONSABLE DE CUALQUIER ACCION LEGAL O FISCAL ANTES POR LA
OPINION Y OTRAS AUTORIDADES COMPETENTES, NO INFLUYENDO, PERO SIN
LIMITAR, LA TERMINACION DE LA PARTICIPACION EN LOS
PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OGP



ABACUS



ARCHITECTURE PSC
CONSULTANT

PROJECT NAME

IMPROVEMENTS ACAA BUILDING 10TH FLOOR
255-273 AVENIDA DE LA CONSTITUCION
SAN JUAN, PUERTO RICO

REVISIONS		
No.	DESCRIPTION	DATE
1	ADDENDA	1-23-23

PO BOX 362192 SAN JUAN P.R. 00936
TEL. (787) 724-4331, FAX. (787) 977-7980
WWW.ABACUSARQ.COM

PARTNER IN CHARGE

DESIGN CAPTAIN

JOB CAPTAIN

CHECKED BY

DRAWN BY

DRAWING TITLE

10TH FLOOR
CABINET DETAILS

SCALE
1/2"=1'-0"

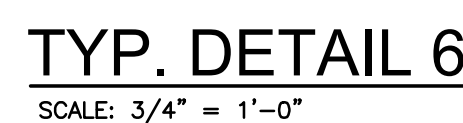
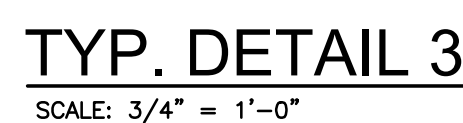
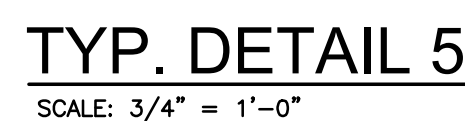
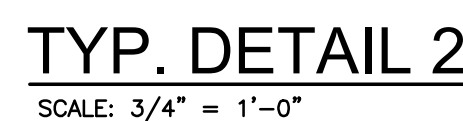
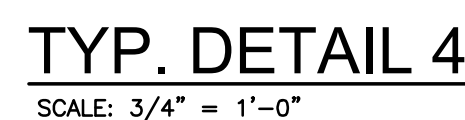
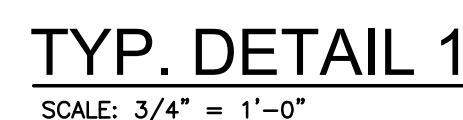
PROJECT No.

DATE

DRAWING No.

A-2.1

SHEET No.



3. APPLY PRIMER AND PAINT FINISH. THE COLOR TO BE DETERMINE BY DESIGNER.